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Mobberley

Neighbourhood Plan Design Guide and Codes

Final report

May 2023

Quality information

Prepared by	Checked by	Approved by
Davide Colombo	Nick Beedie	Name Surname
Graduate Urban Designer	Associate Director	Position

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Contents

1	1. Introduction	5	3	3. Identity and character	29
	1.1 Vision	6		3.1 Introduction	29
	1.2 Objectives	6		3.2 Mobberley Conservation Area	31
	1.3 Who will use the Guide?	7		3.3 Conservation Area design guidelines	33
	1.4 Policy context	8		3.4 Main settlement	35
	1.5 Site visits and engagement	9		3.5 Main settlement design guidelines	39
	1.6 Study area	10		3.6 Rural landscape	41
				3.7 Rural landscape design guidelines	43
2	2. Neighbourhood context	12	4	4. Checklist	45
	2.1 Movement and village structure	12			
	2.2 Landscape and heritage	14			
	2.3 Neighbourhood structure	20			
	2.4 Built form and settlement pattern	22			
	2.5 Opportunities and constraints	24			
	2.6 North Cheshire Fringe-specific design guidelines	25			
	2.7 Context design guidelines	26			



Introduction

01

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1. Introduction

The aim of the Neighbourhood Plan design code is to empower the local community to influence the design quality and character of development in their local area, and to deliver suitable, sustainable development that meets the needs of local people.

The Neighbourhood Plan Steering Group (NPSG) requires a neighbourhood area-wide design code and guidance to preserve the rural nature of the village. There are several character areas which are covered, including the historic conservation area just outside the centre, the village centre where the shops are located, and a mixture of housing areas made up of new estates from the 80s and some 70s housing. The steering group are keen to preserve the characteristic, low-density nature of these housing areas.

There is limited development pressure in the area and the village has not been given a housing requirement by the Local Planning Authority. The NPSG is not planning to allocate homes through the neighbourhood plan as such.



F.1

Figure 01: Mobberley Victory Hall Memorial



F.2

Figure 02: Mobberley railway station



F.3

Figure 03: The Church Inn, Mobberley



F.4

Figure 04: Mobberley Brook seen from Station Road

1.1 Vision

“In 2030 Mobberley will remain a friendly and welcoming community, where residents of all ages feel safe, valued and enjoy an excellent quality of life. Set within an attractive landscape and enjoying easy access to facilities and the countryside, Mobberley will have thriving amenities and vibrant local businesses. Any new development will be sustainable and meet the needs of all residents, whilst conserving and enhancing the local character, heritage, and the natural and built environment.”

(From draft Neighbourhood Plan)

1.2 Objectives

This Design Guide and Codes addresses and provides evidence for the following three key objectives, which will form part of the Neighbourhood Plan:

1. To conserve and enhance Mobberley's natural environment, wildlife, biodiversity and local landscape character.
2. To ensure that new development is well designed, sustainable, in keeping with local character and reflects local needs.
3. To conserve and enhance Mobberley's heritage assets.

Furthermore, the design codes and guidance in this document will be incorporated within relevant policies in the neighbourhood plan.

1.3 Who will use the Guide?

The Design Guide and Codes should be a valuable tool in securing context-driven, high-quality, sustainable new development in Mobberley. It will be used differently by different groups in the planning and development process, as summarised in the adjacent table.

One way this document can be used is as part of any consultation and engagement on new development with community groups that aims to address local preferences and expectations for design quality. The guidance and codes can be used to facilitate conversations on key topics to align expectations and to help achieve a balance of design aims. A design code alone cannot automatically secure good design outcomes, but it does help inform the process.

Potential users	How they will use the design guidelines
Applicants, developers, and landowners	As a guide to community and Local Planning Authority expectations on design, allowing a degree of certainty – they will be expected to follow the guidelines as planning consent is sought.
Local Planning Authority	As a reference point, embedded in policy, against which to assess planning applications. The design guidelines should be discussed with applicants during any pre-application discussions.
Parish Council or Neighbourhood Plan steering group	As a guide when commenting on planning applications, ensuring that the design guidelines are complied with.
Local community groups and local residents	As a tool to promote community-backed development and to inform comments on planning applications.
Statutory consultees	As a reference point when commenting on planning applications.

Table 01: Potential users

1.4 Policy context

The Neighbourhood Plan and supporting design code are in alignment with the [Cheshire East adopted local plan](#). No housing sites are allocated for Mobberley in the Local Plan.

The adjacent table sets out the key design guidance and character assessment, which are also relevant to the neighbourhood area.

Local Policy & Guidance	Date
The Cheshire East Borough Design Guide (CEBDG)	May 2017
Cheshire East Landscape Character Assessment (CELCA)	May 2018
Mobberley Conservation Area Appraisal (MCAA)	April 2006

Table 02: Relevant local policy and guidance

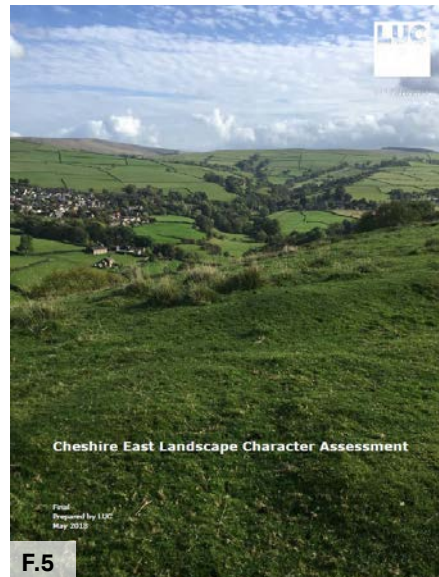


Figure 05: CELCA front cover

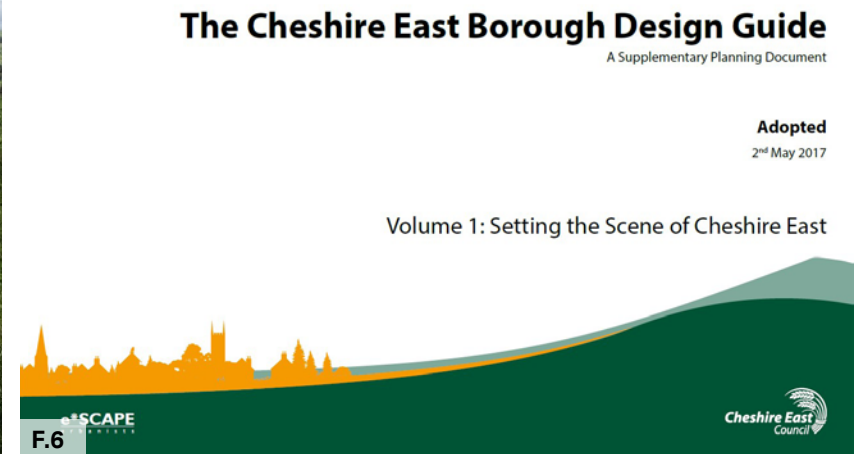


Figure 06: CEBDG front cover

1.5 Site visits and engagement

A site visit took place on 10 February 2023.

The adjacent graphic illustrates the different stages undertaken to produce this design code.



Figure 07: Design Code production process

1.6 Study area

Mobberley neighbourhood area is in Cheshire East. It is 19km (12 miles) south of Manchester, 4km (2.5 miles) northeast of Knutsford and roughly 6km west of Wilmslow. The neighbourhood area is extensive (Mobberley parish is the largest in the country) but development is sporadic and small-scale.

The total population in the area is around 3,000, mainly concentrated in the most developed area around Town Lane (labelled Mobberley on the adjacent plan). Several other hamlets and farmsteads are scattered within the countryside that covers most of the neighbourhood area.

The area is bounded by Tatton and Knutsford to the west, Ashley and Manchester airport to the north, Wilmslow and Chorley to the east, and Great Worford and Marthall to the south. The boundary often follows watercourses (see Figures 21 and 22 for location).

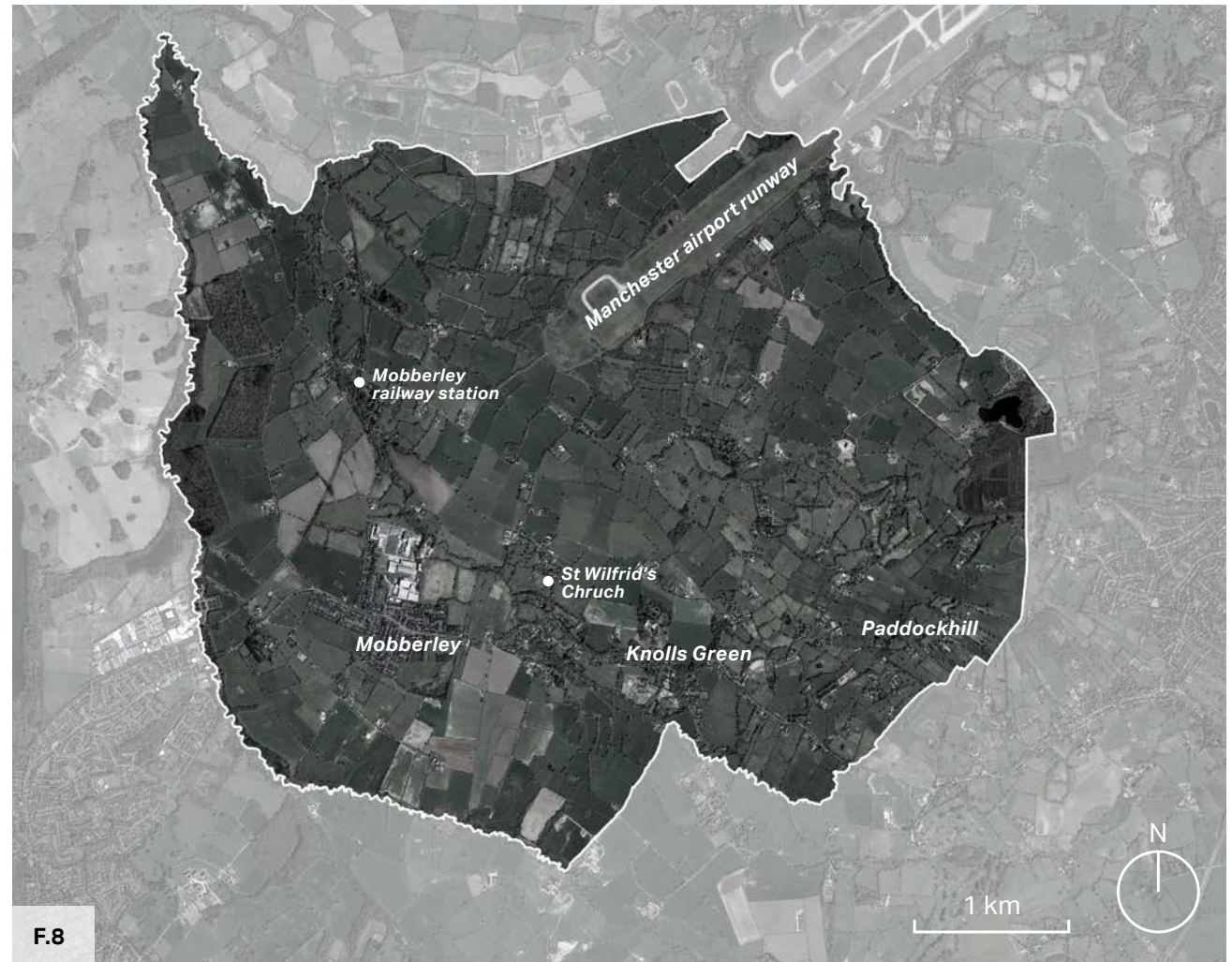


Figure 08: Mobberley neighbourhood area

A photograph of a rural landscape featuring several large, leafless trees in the foreground and a green field with a wooden fence in the background. A large teal circle is overlaid on the center of the image, containing the text 'Neighbourhood context' and the number '02'.

Neighbourhood context

02

2. Neighbourhood context

This section presents analysis of the neighbourhood context, including movement designations, landscape character, amenities and built form.

2.1 Movement and village structure

The main route in the area is the B5085 (Town Lane and Hall Lane), which crosses the Neighbourhood Plan area to the south, connecting Mobberley with Knutsford to the west, and with Alderley Edge and Wilmslow to the east. The main settlement of the area distributes along this route, as well as Knolls Green and the Conservation Area. A series of other secondary lanes creates an informal network throughout the rest of the area. Some of the main ones are Broadoak Lane, Hobcroft Lane, Davenport Lane, Burleyhurst Lane, Wood Lane and Pepper Street, which connect Mobberley with other surrounding villages and areas, such as Ashley to the north, Morley Green to the northeast and Great Warford to the south.

Tertiary lanes, including cul-de-sacs and access lanes, can be found in the area.

Mobberley neighbourhood area is crossed by a railway line and has a railway station located on Station Road, in the northwestern part of the area. A bus route runs along the B5085, with regular stops in both the main settlement and Knolls Green.

Pedestrian movement in the area is supported by the Public Right of Way (PRoW) network that runs throughout the open landscape. The area is also crossed by a recreational route, namely the North Cheshire Way, which runs from Hooton to Disley. Two key cycleways cross the area, namely the Heritage Loop and the regional cycle route n. 70.

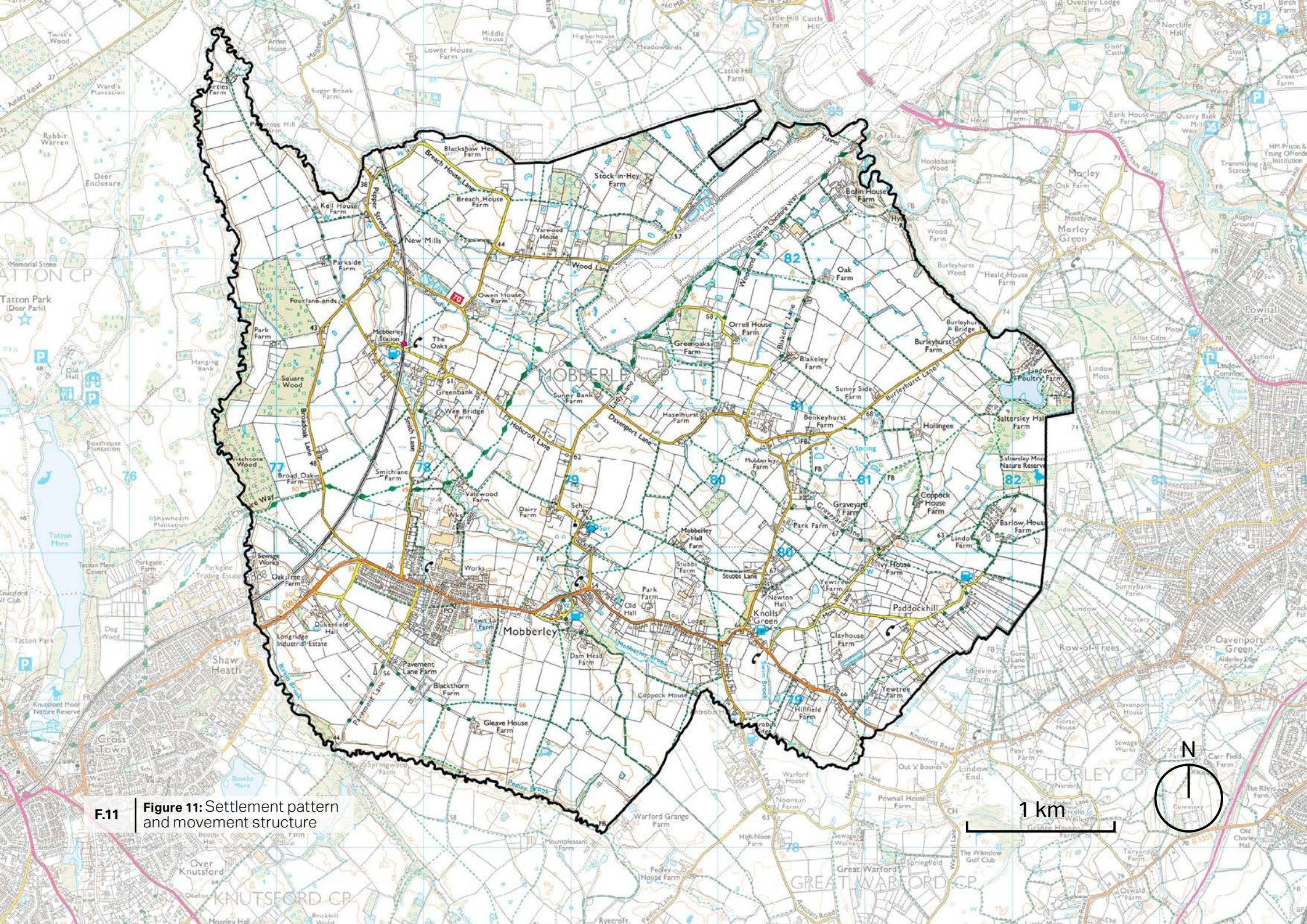
Mobberley's main settlement focuses on Town Lane but expands to the north and south with a network of access lanes and cul-de-sacs. Knolls Green and Paddockhill are both more linear and develop along Hall Lane and Paddockhill Lane respectively. The remaining settlements are smaller and dotted around the neighbourhood area.



Figure 09: Town Lane



Figure 10: Paddockhill Lane



F.11

Figure 11: Settlement pattern and movement structure

1 km



2.2 Landscape and heritage

2.2.1 Statutory designations

There is one Conservation Area (CA) in Moberley (see map opposite). It extends from the western end of the main settlement to Knolls Green and includes the Victory Hall, the Church of St Wilfrid (Grade I listed) and the surrounding dwellings to the north. There is one scheduled monument, the Standing cross St Wilfrid's churchyard (Grade II listed). Moberley Fields, a National Trust open space, is also within the Conservation Area. Figure 14 on page 16 shows listed buildings, buildings of townscape merit, sites for enhancement and a series of other features of the Conservation Area.

The neighbourhood area has 43 listed buildings, including The Old Hall and Dukenfield Hall (Grade II*). The Conservation Area contains 24 of these Listed Buildings.

Most of the neighbourhood area is within the North West Green Belt, with the exception being the main settlement of the area (see adjacent map).

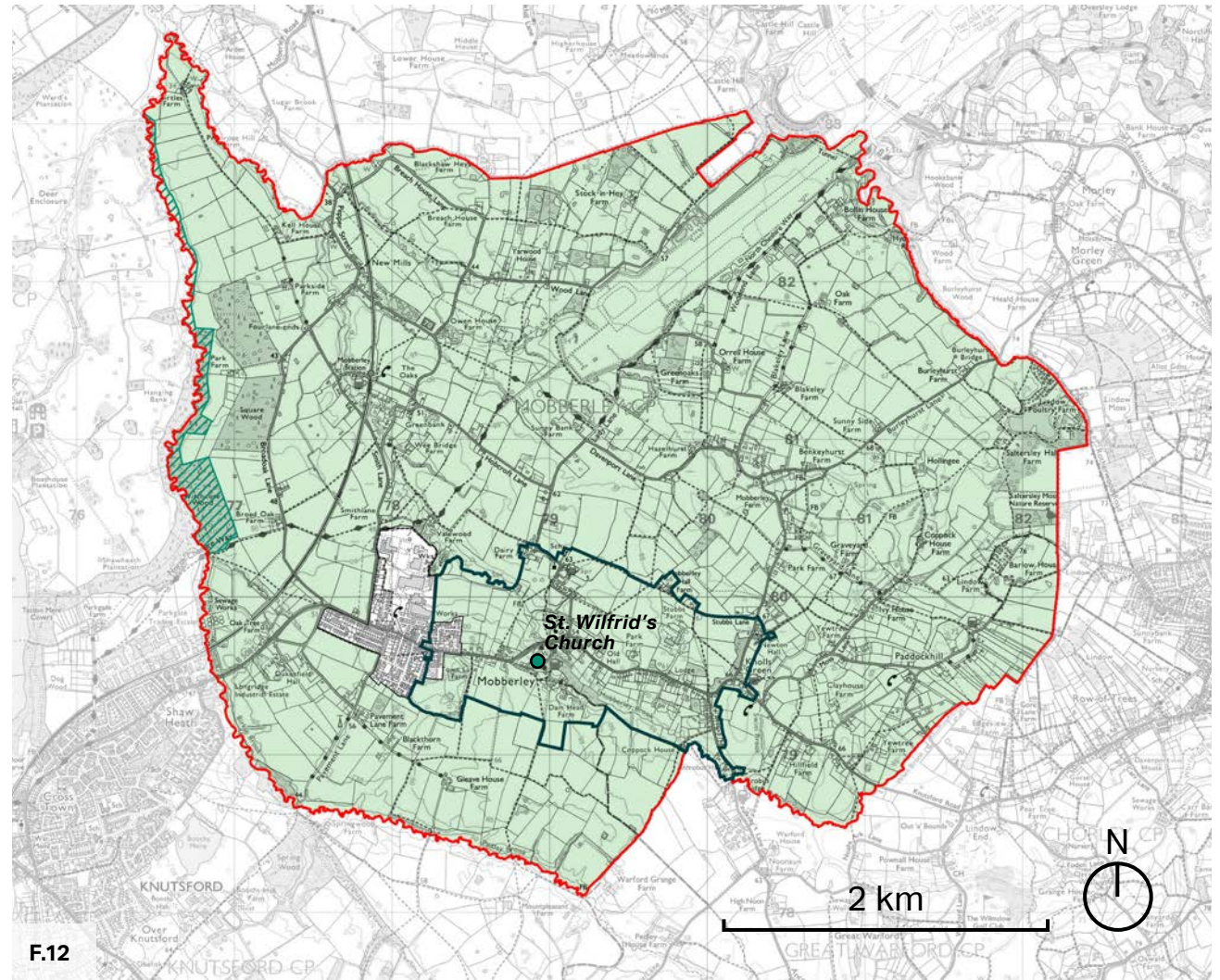
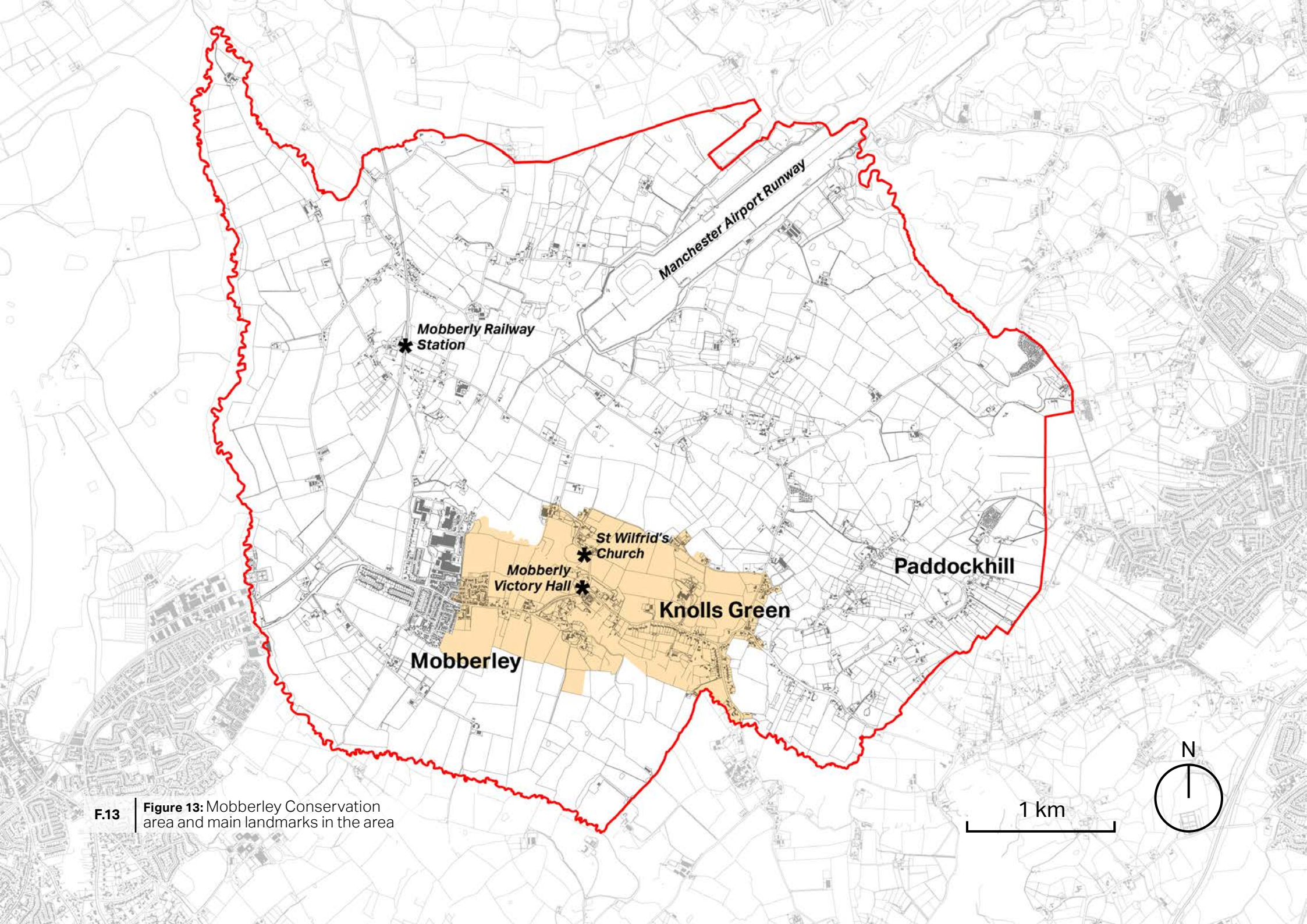
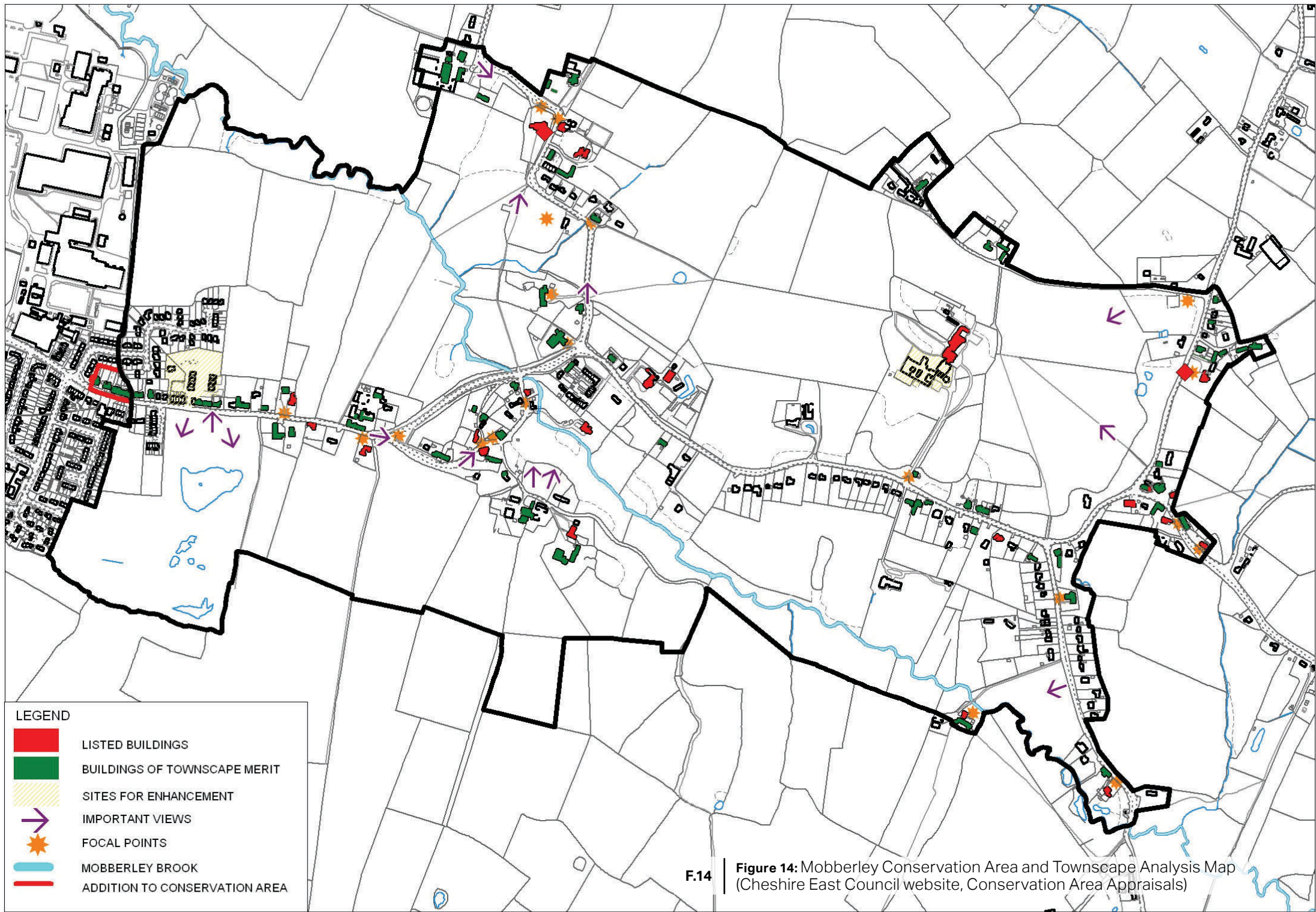


Figure 12: Green belt and statutory designations in the neighbourhood area (see Neighbourhood Plan Fig. H for listed buildings)



F.13 | **Figure 13:** Moberley Conservation area and main landmarks in the area



F.14

Figure 14: Mobberley Conservation Area and Townscape Analysis Map (Cheshire East Council website, Conservation Area Appraisals)



F.15

Figure 15: Moberley Field National Trust site sign



F.16

Figure 16: Moberley Conservation Area sign on Knutsford Road



F.17

Figure 17: St Wilfrid's Church



F.19

Figure 19: View of the landscape from Hobcroft Lane



F.18

Figure 18: Moberley Victory Hall



F.20

Figure 20: View of the landscape from Broadoak Lane

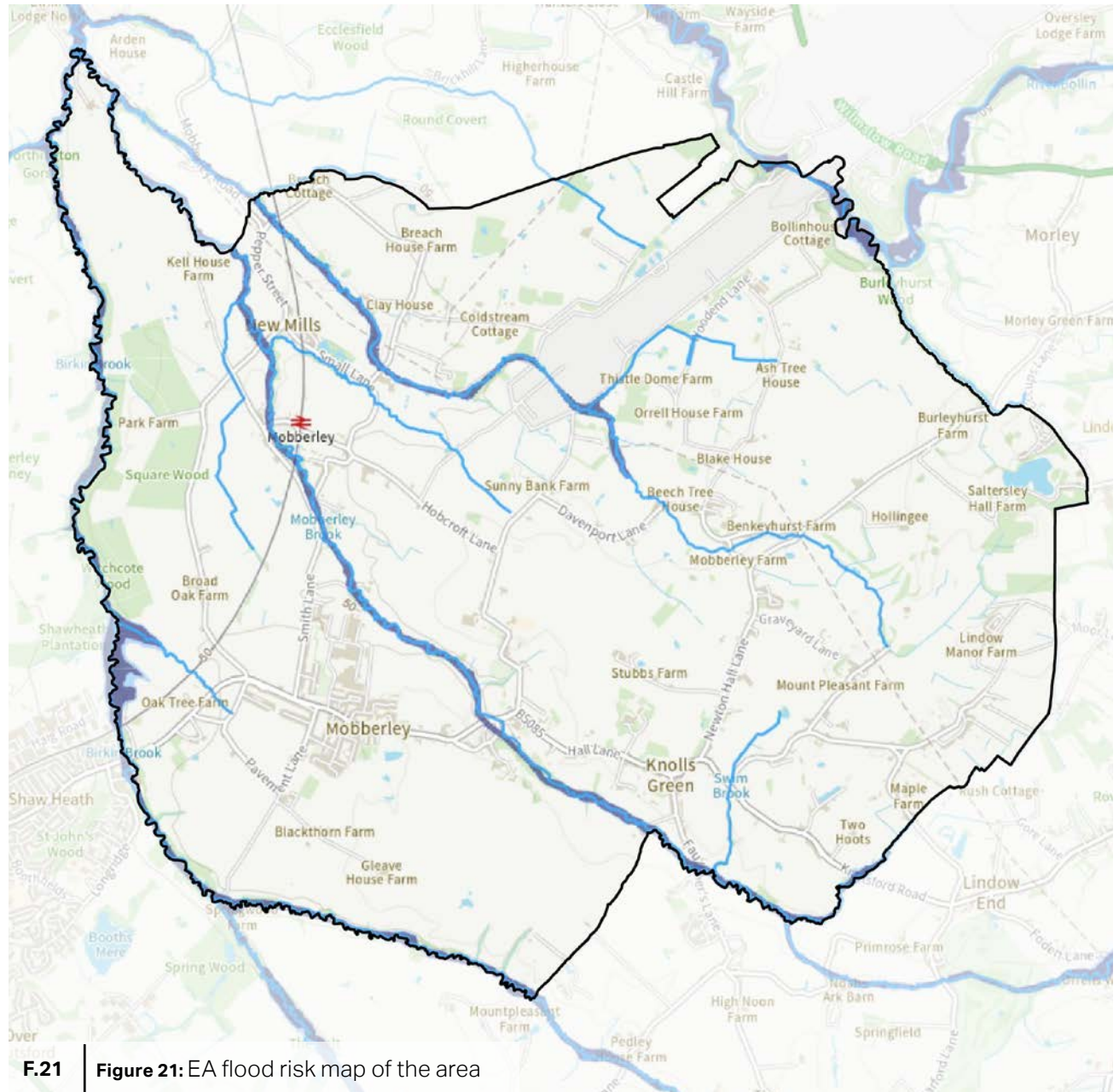
2.2.2 Flood risk

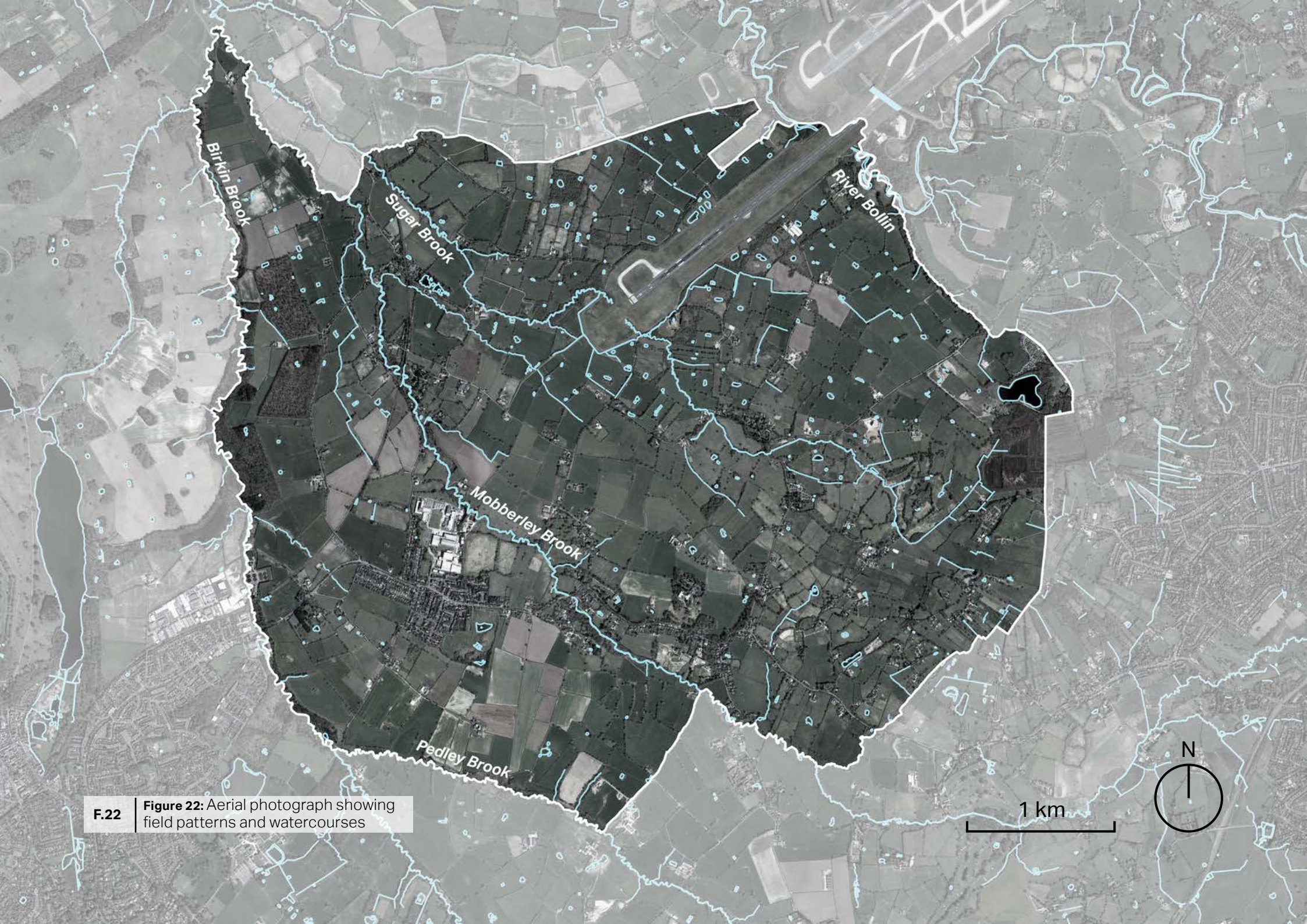
The River Bollin is the primary watercourse to the northeast. Secondary watercourses include Mobberley Brook, Birkin Brook, Sugar Brook and Swim Brook (see Figure 22). Flood risk areas are mostly linear and follow the existing watercourses (see adjacent EA flood risk map). There are also localised surface water flood issues on some roads due to poor drainage.

2.2.3 Landscape character

According to the National Character Area profiles, the whole Mobberley neighbourhood area is part of the NCA 61: Shropshire, Cheshire and Staffordshire Plain. This area is characterised by a gently rolling and lush pastoral farmland. Woodland patches are rarely found, except along watercourses (see Figure 22). The Plain has glacial origins, hence a number of ponds and meres can be found in the area. The clay soils promote water retention, which supports the creation of lush pastures for grazing dairy cattle.

The neighbourhood area is predominantly rural and forms part of the North West Green Belt. The landscape is generally open but lanes and other areas can have a sense of enclosure from vegetation and topography.





F.22 | **Figure 22:** Aerial photograph showing field patterns and watercourses

2.3 Neighbourhood structure

Community infrastructure is spread across the settlements due to their relatively small size and the need for bigger catchments. As such, Mobberley can be characterised as a cluster-village, where the sum of the parts make up the whole offer. A school and pre school on Church Lane, a small selection of local shops on Town Lane and Mobberley railway station on Station Road to the north are other amenities of the neighbourhood area.

Numerous pubs and small cafés are scattered throughout the area. These not only benefit the social life of the community but also attract visitors to the area for walking, food and drink.



F.23

Figure 23: Jane Taylor Playing Field



F.24

Figure 24: Owen House Wedding Barn sign



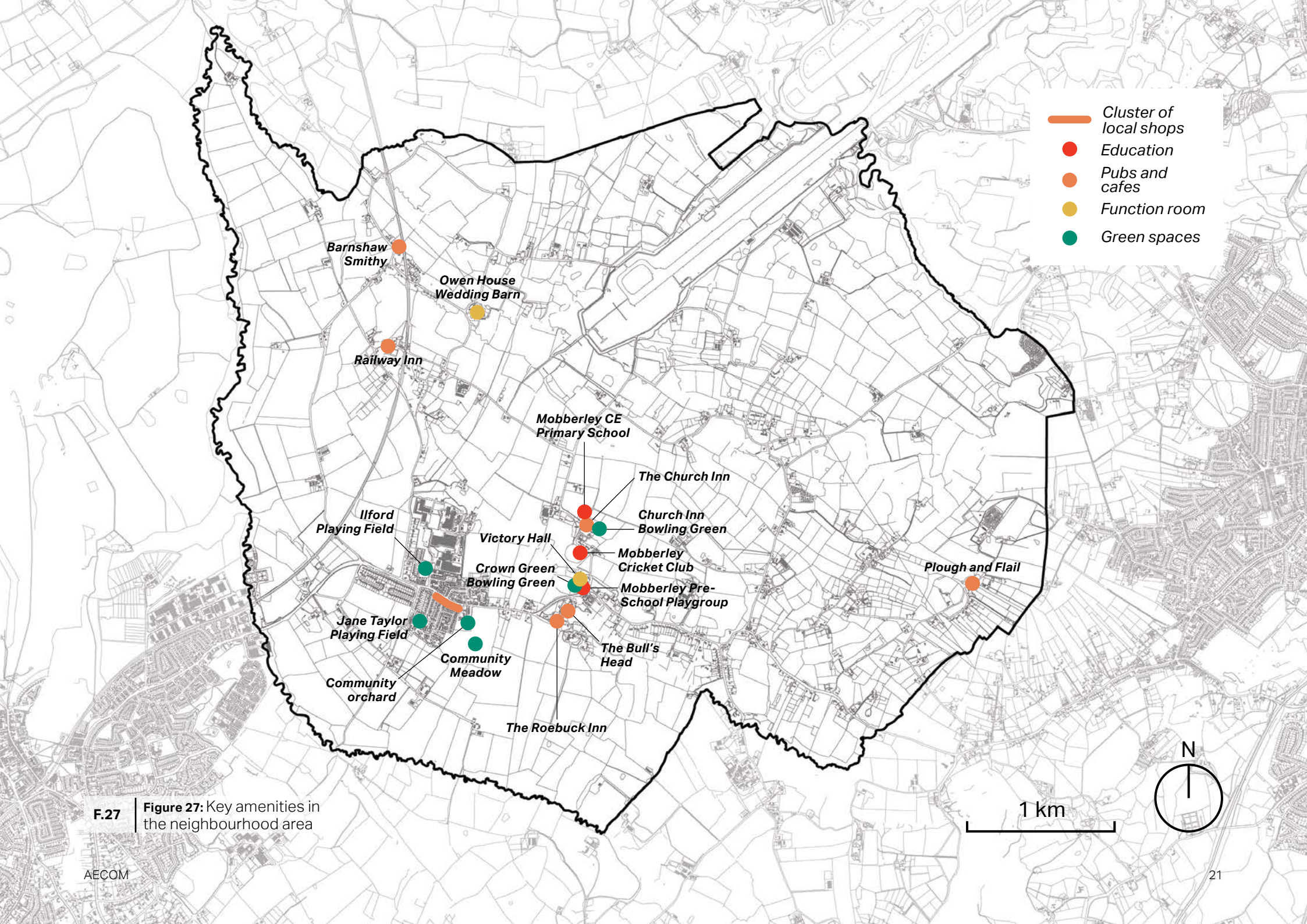
F.25

Figure 25: Plough & Flail pub



F.26

Figure 26: Local shops on Town Lane



- Cluster of local shops
- Education
- Pubs and cafes
- Function room
- Green spaces

Barnshaw Smithy
 Owen House Wedding Barn
 Railway Inn
 Moberley CE Primary School
 The Church Inn
 Ilford Playing Field
 Victory Hall
 Church Inn Bowling Green
 Jane Taylor Playing Field
 Crown Green Bowling Green
 Moberley Cricket Club
 Community orchard
 Community Meadow
 Moberley Pre-School Playgroup
 The Bull's Head
 The Roebuck Inn
 Plough and Flail

F.27 Figure 27: Key amenities in the neighbourhood area



2.4 Built form and settlement pattern

The figure-ground plan on the next page shows how development is mainly concentrated in the southwest of the village, around Town Lane. This area is comprised of a series of medium-density suburban developments of different eras surrounding older developments lining the main thoroughfare.

Terraces, cottages, bungalows and semi-detached buildings are distributed along streets defining linear streetscapes, loops and cul-de-sac layouts.

The Knolls Green area, within the Conservation Area to the east, is a more irregular linear settlement pattern and lower in density. The layout is generally informal; however, some more regular development can be found along Hall Lane and Faulkner's Lane.

Further east and north, within the green belt, the pattern is more sparse and nucleated around farmsteads and hamlets. Paddock Hill is a small, low-density settlement arranged around a green.

Two holiday camping sites and a residential park are situated in the Mobberley neighbourhood area and are tight-knit layouts of small bungalows.



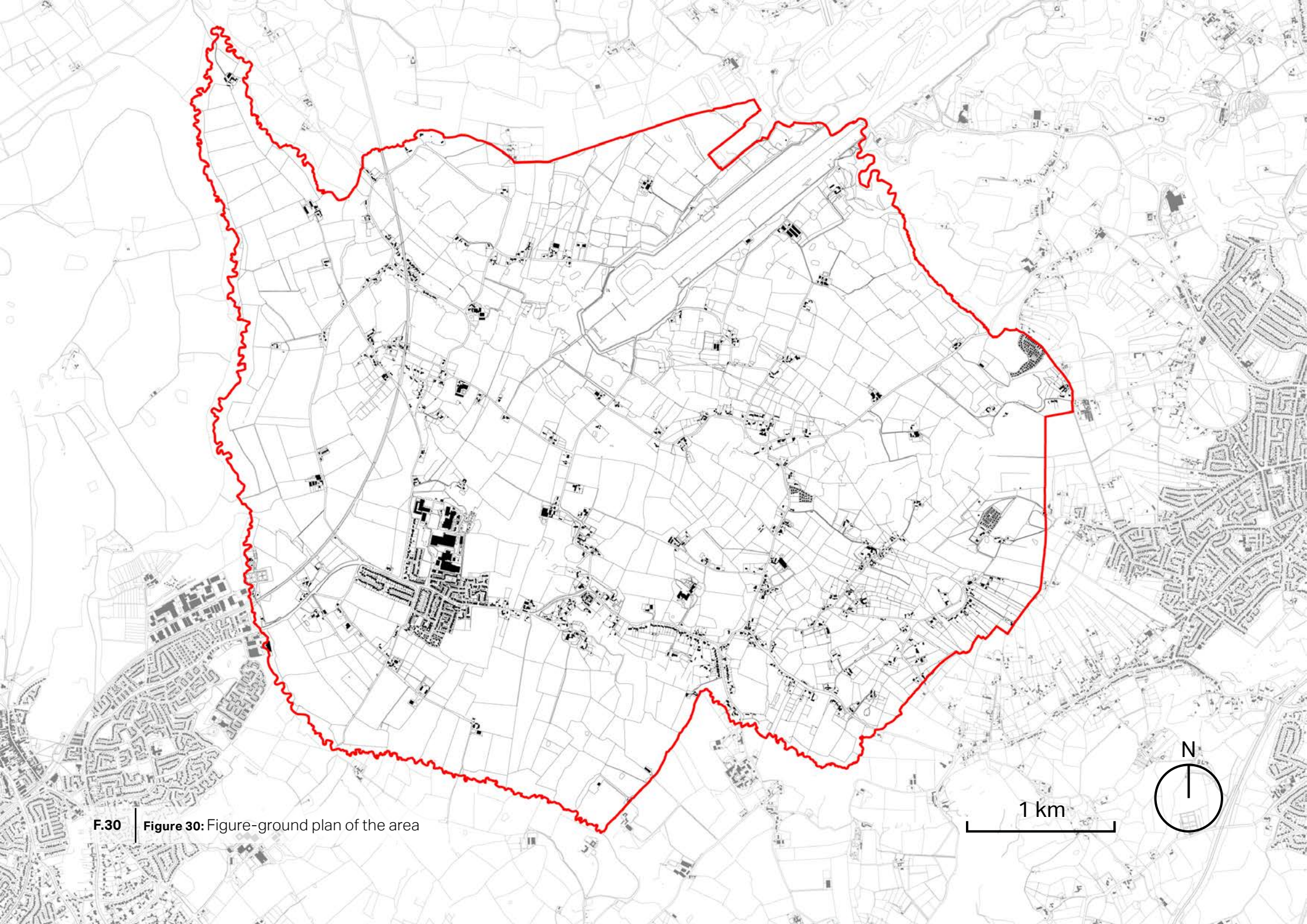
F.28

Figure 28: Terraces on Town Lane



F.29

Figure 29: Linear distribution on Church Lane



F.30 | **Figure 30:** Figure-ground plan of the area

1 km



2.5 Opportunities and constraints

This section evaluates some of the key local issues in the area based on the previous desktop study and feedback from the steering group on topics of local concern.

Strengths	Weaknesses
<ul style="list-style-type: none"> • Rural character and traditional working, agricultural landscape. • Tranquillity and sense of landscape enclosure. • Numerous pubs and cafés in a rural setting attract visitors and support community. • Railway station provides links to Chester/ Manchester. • Conservation area and traditional rural villages. 	<ul style="list-style-type: none"> • Erosion of historic field patterns. • Suburban-type development (not in keeping with local character). • Noise impact from Manchester Airport flight paths. • Dispersed low-density settlement pattern embeds car dependency.
Opportunities	Threats
<ul style="list-style-type: none"> • Provision of smaller homes and homes for the elderly. • Reinstatement of traditional boundary features; • Siting and screening intrusive features (e.g. telecoms infrastructure) to reduce impact. • De-clutter street signs and markings. 	<ul style="list-style-type: none"> • Potential road-widening schemes for characteristic narrow rural lanes. • Loss of vernacular character. • Erosion of traditional plot boundaries for front parking, and loss of permeable garden areas. • Loss of high-grade farmland.

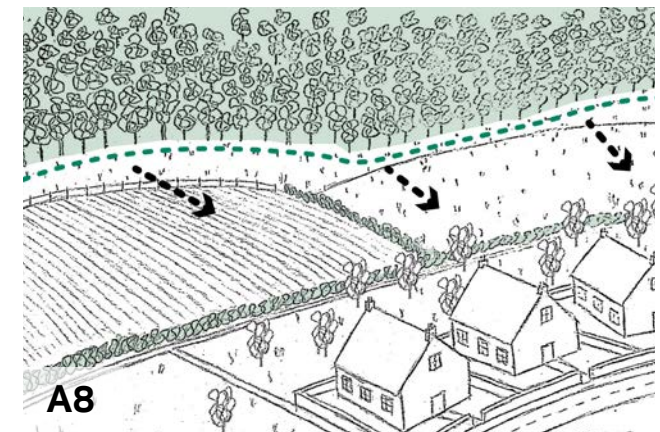
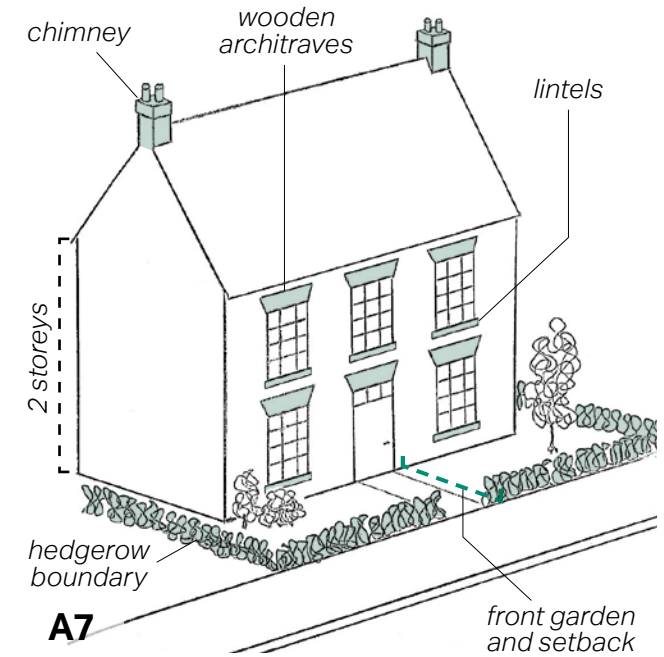
Table 03: Mobberley’s SWOT analysis

2.6 North Cheshire Fringe-specific design guidelines

A. General design cues specific to the North Cheshire Fringe which should be considered for new developments (from Cheshire East Borough Design Guide):

- A1. Settlements have well-defined street hierarchies providing variety and legibility.
- A2. 19th to 20th century archetypes dominate but examples remain of early domestic architecture.
- A3. Varied materials, although brick is predominant. Cheshire brick often used alongside standard red engineering brick for trim detailing and coursing.
- A4. Strong, well-enclosed street pattern.
- A5. Full range of boundary treatments in evidence, although low sandstone walls with hedging are a strong streetscape element in some settlements.

- A6. Mock Tudor elements seen in buildings of various styles and ages, predominately in the form of black and white timber detailing to gables.
- A7. Original features and detailing include sash windows, decorative barge boards, gabled dormer windows, decorative timber detailing and prominent chimney stacks.
- A8. Views of surrounding countryside add to rural character and feel of settlements.
- A9. The conversion of former farm buildings to residential use adds character and acts as a reminder of early settlement origins in many cases.
- A10. Flight paths from Manchester Airport.



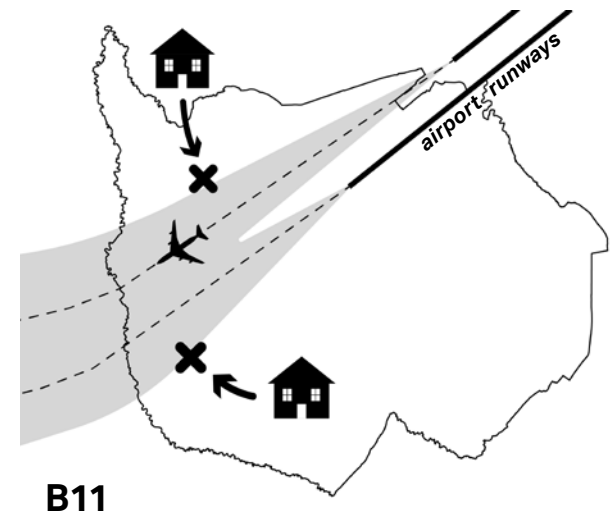
2.7 Context design guidelines

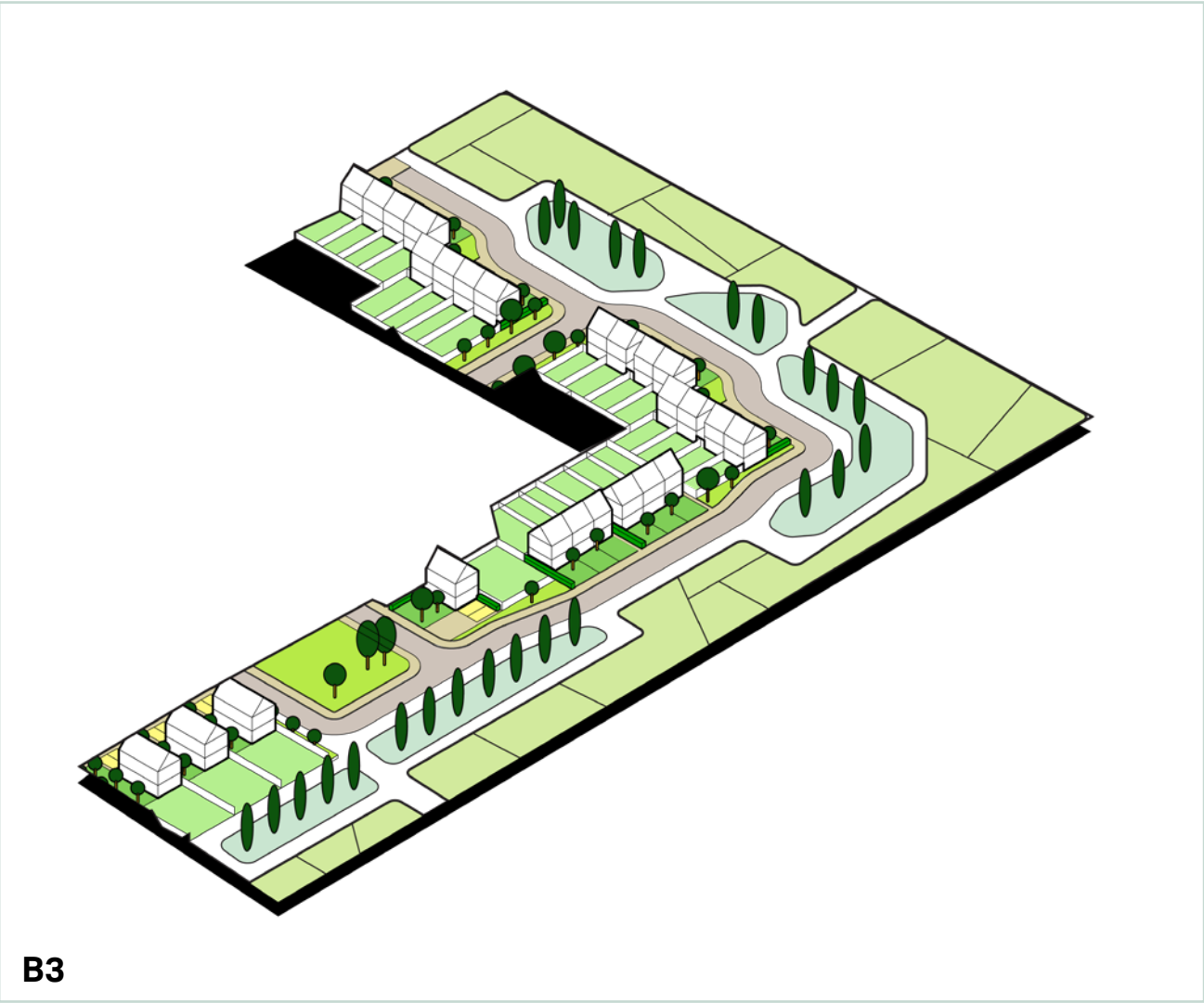
B. General design guidelines for new development in Mobberley

New development should comply with the following criteria:

- B1. Respect and enhance the rural context of the village and gaps between the settlement areas.
- B2. Be focused within existing development boundaries or on brownfield sites.
- B3. Respect the rural landscape character of the area, retaining the traditional character and openness of the countryside, in particular on the edge of the development.
- B4. Respect and enhance the historic environment, including listed buildings and their settings.
- B5. New development within the CA should refer to the [Mobberley Conservation Area Appraisal](#).

- B6. Respond to the vernacular building character of the area (see section 3: Identity and character).
- B7. Support and enhance traditional rural places, buildings and lifestyles.
- B8. Not be located within flood areas or exacerbate existing flood issues.
- B9. The development of community facilities should respond to the 'cluster-village' concept, which means that, where facilities are dispersed, they are shared.
- B10. Active travel routes for walking and cycling should be enhanced by new development to enable journeys on foot or bicycle to nearby facilities (e.g. train station, shops, school and medical centre).
- B11. Residential development should not be located under the existing flight paths from Manchester Airport.







Identity and character

03

3. Identity and character

It is important that future developments in Mobberley respond to the existing character of the place and make a positive contribution to the identity of the neighbourhood area.

3.1 Introduction

The following section provides an appreciation of Mobberley's sense of place and defines the physical characteristics that make different areas of Mobberley distinctive. Some of these features are highlighted using the photographs taken on the site visit conducted on 10 February 2023.

Three main character areas are identified in Mobberley are:

1. Mobberley Conservation Area: the area extends from the eastern fringe of the main settlement to Knolls Green, including the St Wilfrid's Church.

2. Main settlement:

2a. Town Lane

This is the main route through the settlement, where most of the traffic in the neighbourhood area flows and a cluster of local shops can be found, making it a small but key focus area.

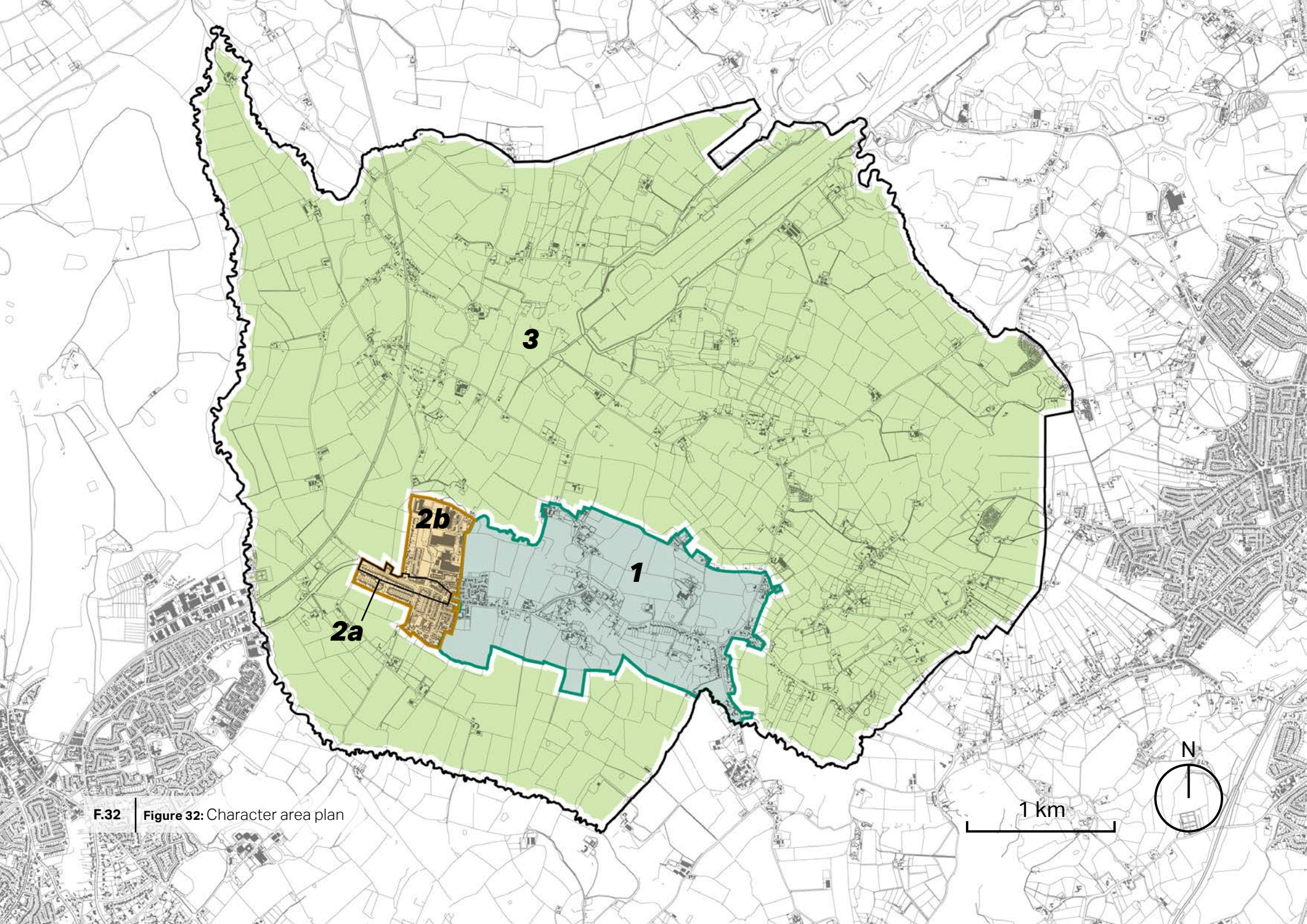
2b. Housing developments

Development around Town Lane forms a small village, with a network of access streets and cul-de-sacs leading to a variety of housing developments.

3. Rural landscape: farming land covers most of the neighbourhood area, within the Green Belt. This includes scattered farmsteads, hamlets and other agricultural uses.



Figure 31: Mill Lane



F.32 | **Figure 32:** Character area plan

01

Mobberley Conservation Area

3.2 Mobberley Conservation Area

The Mobberley Conservation Area can be divided geographically into six character areas with open pasture and woodland between them (from Mobberley Conservation Area appraisal):

1. St Wilfrid's Church and Church Lane
2. Town Lane.
3. Mill Lane.
4. Hall Lane.
5. Newton Bank.
6. Knolls Green.

All the settlements share the same range of materials, which include red brick, render and timber for elevation materials. Slate roofs are predominant, however, examples of thatched roofs can be found. Hedgerows are a common boundary treatment, as well as brick walls and timber fences, creating a well-defined and enclosed streetscape on secondary lanes such as Mill Lane.

Streets are generally narrow, apart from Town Lane and Hall Lane, and have an organic and informal layout. Pavements can be found on the main routes of the Conservation Area (Town Lane, Hall Lane, Church Lane and Faulkner's Lane) and are generally in a good state, while on-street car parks can be found.

The landscape is characterised by mature and rich vegetation, however, open views of the landscape are available. A cricket club can be found on Church Lane.

Residential buildings are mixed with pubs and other special buildings, which include St Wilfrid's Church, the Rectory and the Mobberley CE Primary School. These three amenities, together with the Church Inn, contribute to creating a centre on Church Lane.

Buildings also share a set of details, such as chimneys and gables. Windows generally have lintels and window surrounds, and eyebrow dormers can also be observed in the area.



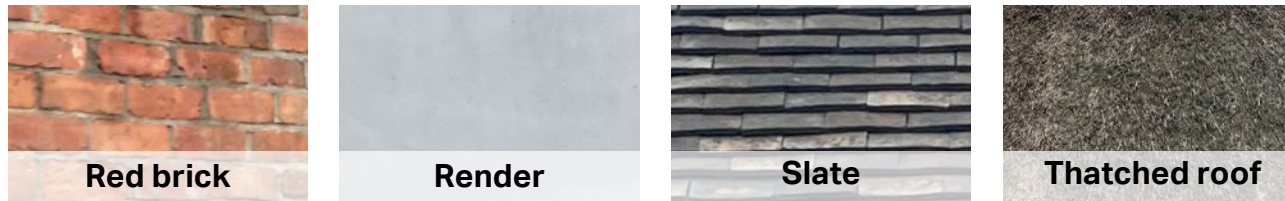
F.33

Figure 33: Thatched roof on Mill Lane



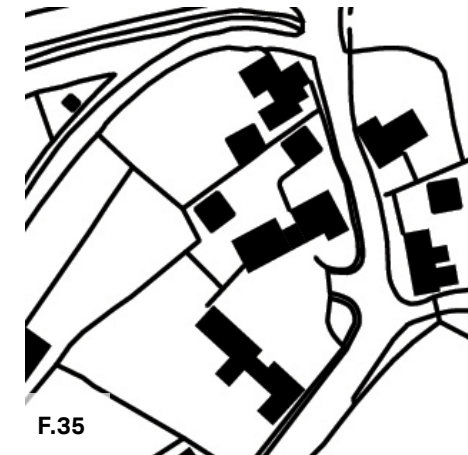
F.34

Figure 34: Courtyard building on Town Lane



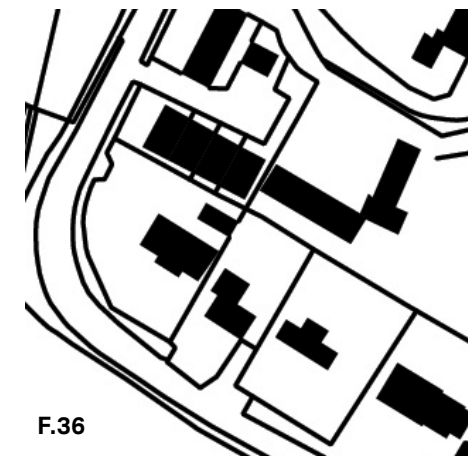
Factors	Typical characteristics
Settlement character	Mill Lane is a valley-bottom cluster of houses with pubs. Church Lane and Knolls Green are linear settlements, with a church focus on Church Lane.
Materials	Red brick, Welsh slate, thatched roofs, render, timber. The church is a sandstone building.
Boundaries	Brick walls, hedgerows and timber fences can be found on Mill Lane. Hedgerows, timber fences, iron fences and sandstone walls (surrounding the church) can be found on Church Lane and in Knolls Green.
Streets	Streets are narrow and have an organic layout. Pavements can be found on the main routes and they are usually of a good quality, if generally narrow. On-street parking on Mill Lane.
Landscape	Landscape is generally mature, with rich vegetation and views to the landscape (except of Mill Lane). The Mobberley Cricket Club is a relevant open space for the area.
Building types	Houses, pubs and farms are predominant; however, the church and the primary school can be found on Church Lane.
Details	Chimneys, lintels and gables are common in the whole area; however, eyebrow dormers and window surrounds can also be found.

Table 04: Mobberley Conservation Area character table



F.35

Figure 35: 1 Ha sample area - Mill Lane (8 DpH)



F.36

Figure 36: 1 Ha sample area - Church Lane (11 DpH)

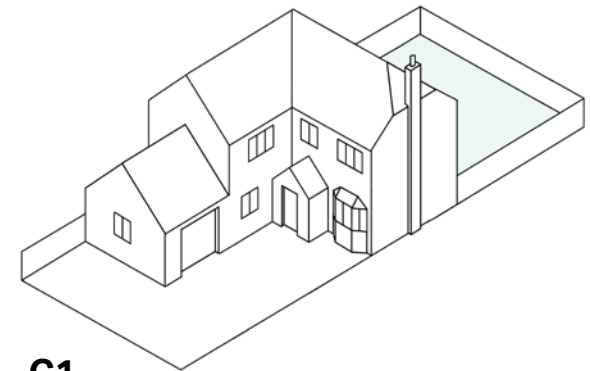
3.3 Conservation Area design guidelines

C. General design guidelines for new development within the Conservation Area

New development should comply with the following criteria:

- C1. Respect the street character of the specific location in terms of setback, parking arrangement and boundary feature provision.
- C2. Respect its context in terms of scale, height and massing.
- C3. Retain existing landscape features, such as mature trees, hedgerows, green verges and water features like ponds.
- C4. New boundaries should generally be marked by hedges, not high walls and gates.

- C5. Materials should blend with or complement the materials used commonly in the location, including local brick and stone, Welsh slate or clay tiles (see table 04).
- C6. Roof form should respond to the general pitch and form within the street, unless holding an especially detached or screened location.
- C7. Doors and windows should be made from timber, painted rather than stained, and set well into their reveals.



C1

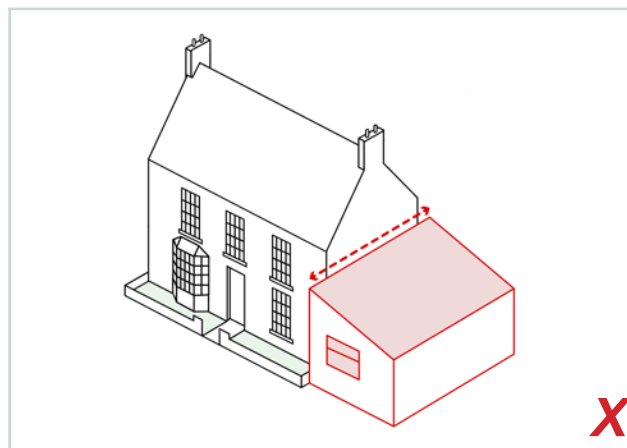
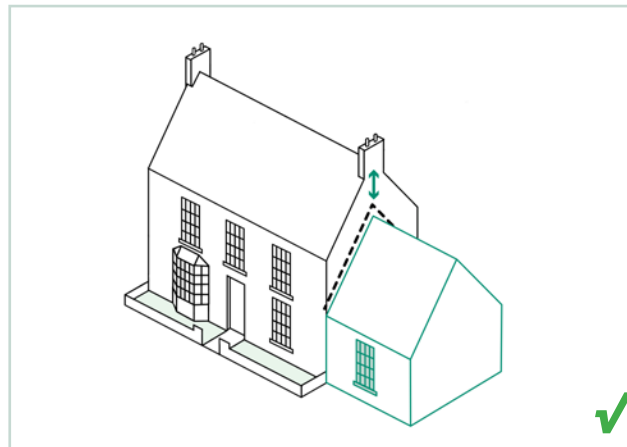


C3

D. Guidelines for extensions to non-listed buildings

Extensions to existing buildings within the Mobberley Conservation Area should comply with the following criteria:

- D1. Achieve a high standard of design.
- D2. Respect the height, massing and general form of the original building.
- D3. Be secondary in character and scale to the original building.
- D4. Roofs will normally be pitched, and covered using Welsh slate or clay tiles.
- D5. Chimneys should be provided, where appropriate.
- D6. Matching materials must be specified.
- D7. External joinery details should match original features.



D2, D3, D4, D7

02

Main settlement

3.4 Main settlement

Two sub-areas are included in the main settlement: the village centre along Town Lane and the housing development that has grown up around it.

2a. Town Lane

Town Lane is a key route within Mobberley, linking Wilmslow and Knutsford. As such, it is one of the busiest streets in the village, and includes a number of local shops and services.

Elevation materials are similar to the rest of the main settlement, and thus include red brick (often dappled) and render. Slate and Rosemary tiles are predominant for roofs. Cottages, terraces and modern housing are the main housing types on Town Lane, with chimneys and gables being the key common details. Other building features are variable, depending on the construction

period.

Boundary treatments have sometimes been eroded for parking; however, brick walls, hedgerows, and timber and iron fences are the most common. Boundary treatments, together with regular setbacks, contribute to creating a defined streetscape.

Good quality pavements are located on both sides of Town Lane and sometimes include green verges. These, together with hedgerows, are the main green features on the street.

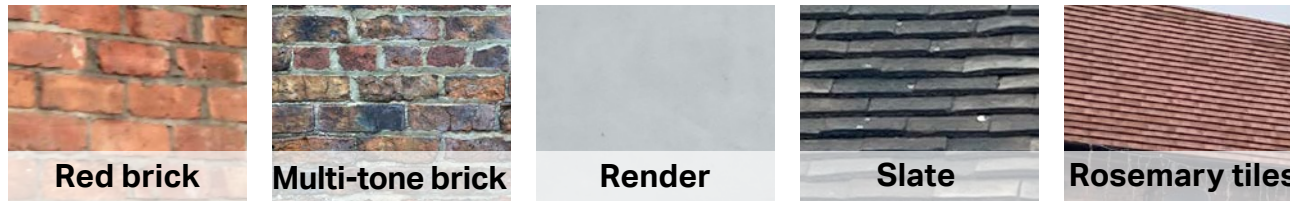
Town Lane includes a range of uses, namely residential, commercial and other special uses, such as community facilities. The Rajar Building, which is home to Mobberley Parish Council, is also located on the street.



Figure 37: Rajar Building on Town Lane



Figure 38: Terraces on Town Lane



Factors	Typical characteristics
Settlement character	Town Lane is the main route of the settlement and has local shops.
Materials	Elevation materials include red brick, multi-tone brick and render, while Welsh slate and Rosemary tiles are used for roofs.
Boundaries	<p>✓ Brick walls, hedgerows, iron fences, timber fences, open.</p> <p>✗ Boundaries eroded for parking.</p>
Streets	Town Lane is quite busy and has good quality pavements on both sides. Streetscape is well defined.
Landscape	Hedgerows and sporadic green verges can be found on Town Lane.
Building types	Houses include cottages, terraces and modern housing. The Rajar Building and community facilities can also be found.
Details	Details are varied and change according to the period.



Figure 39: 1 Ha sample area - Town Lane (23 DpH)

Table 05: Town Lane character table

2b. Housing developments

The settlement is formed by suburban housing built in different stages of the 20th century. Red brick is predominant and is often dappled; however, render can also be found. Building details vary according to the period when houses were built, but chimneys and gables are shared by most of the houses. Brick walls and hedgerows are the main boundary treatments in the settlement, although some boundaries have been eroded to create access for parking.

The street layout is formal and formed by access lanes, cul-de-sacs and courtyards. Pavements are common in the settlement and are often of good quality and narrow.

The landscape is minimal and limited to some scattered green verges and hedgerows.

Even if the settlement is mostly residential, community facilities can be found, for example, Jane Taylor play area.



Figure 40: Housing on Badgers Croft



Figure 42: Jane Taylor play area



Figure 41: Housing on Bucklow Avenue



Figure 43: Bucklow Avenue



Factors	Typical characteristics
Settlement character	Suburban housing growing from Town Lane. It is the main settlement in the neighbourhood area.
Materials	Red brick, multi-tone brick and render are the main elevation materials. Welsh slate is used for roofs.
Boundaries	<ul style="list-style-type: none"> ✓ Brick walls and hedgerows. ✗ Boundaries eroded for parking.
Streets	<ul style="list-style-type: none"> ✓ Suburban residential, access/cul-de-sac and courtyards. ✗ Poor quality and narrow pavements.
Landscape	Hedges are common, while green verges are sporadic.
Building types	Houses include cottages and modern housing. Community facilities are located in the area.
Details	Details are varied and change according to the period.



Figure 44: 1 Ha sample area - Bucklow Ave and Pavement Ln (18 DpH)



Figure 45: 1 Ha sample area - Great Oak Square (44 DpH)

Table 06: Housing character table

3.5 Main settlement design guidelines

E. General design guidelines for new development within the main settlement

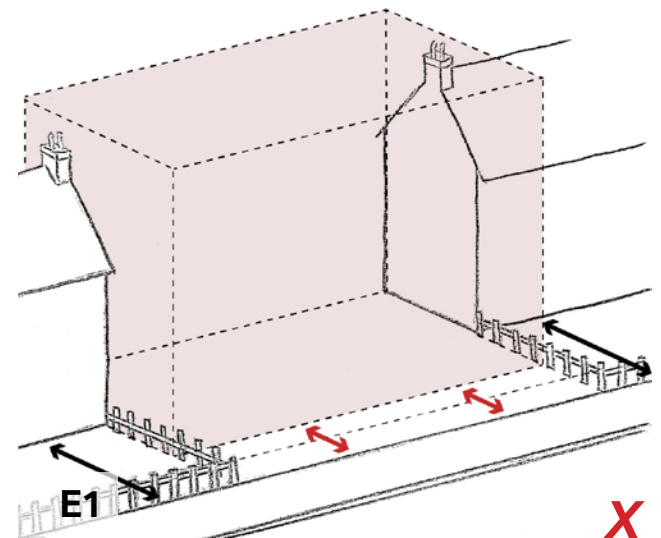
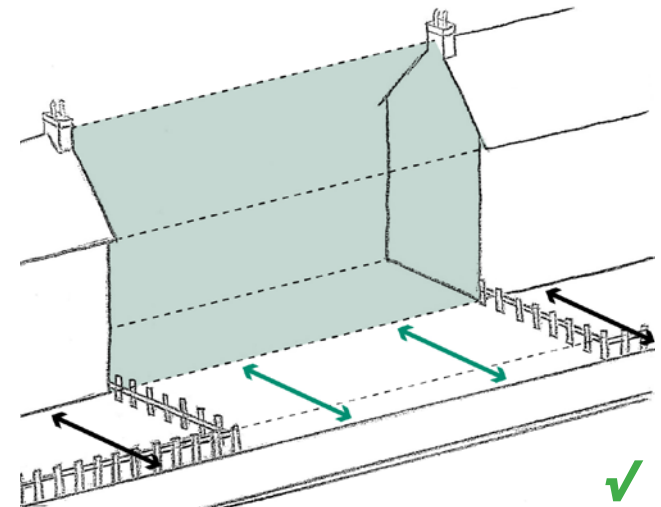
New development should comply with the following criteria:

- E1. Respect the street character of the specific location in terms of setback, parking arrangement and boundary feature provision.
- E2. Respect its context in terms of scale, height and massing.
- E3. Retain existing landscape features, such as mature trees and hedgerows.
- E4. New boundaries should generally be marked by hedges, not high walls and gates.

E5. Materials should blend with or complement the materials used commonly in the street scene, including local brick and stone, Welsh slate or clay tiles (see tables 05 and 06).

E6. Roof form should respond to the general pitch and form within the street, unless holding an especially detached or screened location.

E7. Doors and windows should follow the local street scene vernacular in terms of orientation (portrait or landscape) and scale, where there is an existing positive character.



F. Additional design guidelines for new development on Town Lane:

- F1. New boundaries should generally be marked by hedges and/or low brick walls. The erosion of existing boundaries is discouraged.
- F2. New shop/community facility frontages should respect the rural village context, be well designed and use high-quality materials.
- F3. Street-clutter of signage, road markings and advertising is discouraged and should not disrupt pavements or negatively impact the appearance of the street scene.
- F4. Parking areas for community facilities or commercial premises should not be left fully open to the street and should be partially screened by boundary treatments such as a low brick wall, low timber fencing or low hedgerows.



03

Rural landscape

3.6 Rural landscape

Mobberley neighbourhood area is strongly rural and thus open landscape covers a large part of the area. However, scattered farms and settlements can be found throughout the whole area. These scattered settlements are usually formed by cottages and detached houses. A number of pubs and cafés can also be found in the area.

Elevation materials include red brick, dappled brick and render, while slate is predominantly used for roofs. Buildings generally share a series of details, such as quoins, chimneys, lintels, roof crests and timber-framed porches.

An organic and informal network of streets spreads out in the area, with Town Lane, Hall Lane and Knutsford Road being the main routes. Secondary routes include Broadoak Lane, Hobcroft Lane, Davenport Lane, Burleyhurst Lane, Wood Lane and Pepper Street. Pavements can rarely be found and those that do exist are generally narrow.



F.46

Figure 46: Detached house on Smith Lane



F.48

Figure 48: Barnshaw Smithy, Pepper Street



F.47

Figure 47: Green verge and hedgerow on Small Lane



F.49

Figure 49: View of the landscape from Pepper Street



Factors	Typical characteristics
Landscape character	Countryside and natural environment, with farms and settlements irregularly scattered in the area.
Materials	The main elevation materials are red brick, multi-tone brick and render. Welsh slate is used for roofs.
Boundaries	Brick walls and hedgerows are the main boundary treatments.
Streets	Town Lane and Hall Lane are the main routes; Broadoak Lane, Hobcroft Lane, Davenport Lane, Burleyhurst Lane, Wood Lane, Pepper Street are secondary routes. A number of tertiary/minor lanes are located in the area. X Pavements are generally narrow.
Landscape	Green verges and hedgerows are abundant, contributing to the rural character of this area. Landscape is gently undulating pastoral farmland.
Building types	Houses are cottages and detached houses. Farms, pubs and cafés are also scattered in the area.
Details	Quoins, chimneys and lintels are common throughout the area. Roof crests and timber-framed porches can also be found.

Table 07: Rural landscape character table

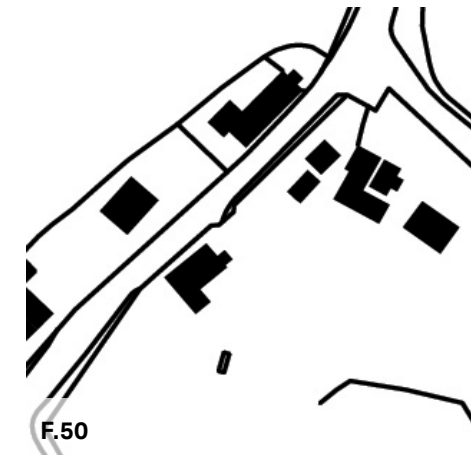


Figure 50: 1 Ha sample area - Pepper Street (6 DpH)

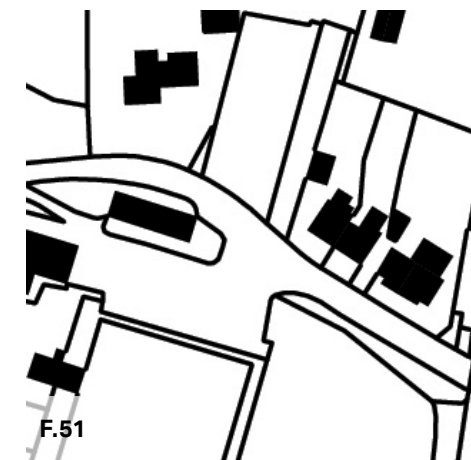


Figure 51: 1 Ha sample area - Station Road (6 DpH)

3.7 Rural landscape design guidelines

G. General design guidelines for new development in the rural countryside

New development should comply with the following criteria:

- G1. Respect the street character of the specific location in terms of setback, parking arrangement and boundary feature provision.
- G2. Respect its context in terms of scale, height and massing.
- G3. Retain existing landscape features, such as mature trees and hedgerows.
- G4. Materials should blend with or complement the local vernacular, including brick and stone, render, Welsh slate or clay tiles (table 07).
- G5. New boundaries should generally be marked by hedges, not high walls and gates.
- G6. New posts to protect grass verges should be timber, not plastic.

- G7. Boundaries such as hedgerows, stock fencing and estate railing on larger plots of land may be appropriate.
- G8. New parking areas should be screened by hedgerows, and use surfaces that are sympathetic to the rural context and porous for drainage.
- G9. Building form and type should correspond to the local vernacular.
- G10. Agricultural buildings should be well designed and use high-quality, functional materials that add to the character of the rural context.
- G11. Reuse and adaptation of existing buildings is preferable to demolition and replacement, especially for provision of new community facilities or services.





Checklist

04

4. Checklist

This section sets out a general list of design considerations by topic for use as a quick reference guide in design workshops and discussions.

1

General design guidelines for new development

- Integrate with existing paths, streets, circulation networks and patterns of activity.
- Reinforce or enhance the established settlement character of streets, greens and other spaces.
- Harmonise and enhance existing settlement in terms of physical form, architecture and land use.
- Relate well to local topography and landscape features, including prominent ridge lines and long-distance views.
- Reflect, respect and reinforce local architecture and historic distinctiveness.
- Retain and incorporate important existing features into the development.
- Respect surrounding buildings in terms of scale, height, form and massing.
- Adopt contextually appropriate materials and details.
- Provide adequate open space for the development in terms of both quantity and quality.
- Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features.
- Ensure all components, e.g. buildings, landscapes, access routes, parking and open space, are well related to each other.
- Positively integrate energy efficient technologies.
- Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation and minimisation, where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours.
- Ensure that places are designed with management, maintenance and the upkeep of utilities in mind.
- Seek to implement passive environmental design principles by firstly considering how the site layout can optimise beneficial solar gain and reduce energy demands (e.g. insulation), before specification of energy efficient building services, and finally incorporate renewable energy sources.

2

Street grid and layout

- Does it favour accessibility and connectivity? If not, why?
- Do the new points of access and street layout have regard for all users of the development, in particular pedestrians, cyclists and those with disabilities?
- What are the essential characteristics of the existing street pattern; are these reflected in the proposal?
- How will the new design or extension integrate with the existing street arrangement?
- Are the new points of access appropriate in terms of patterns of movement?
- Do the points of access conform to the statutory technical requirements?

3

Local green spaces, views and character

- What are the particular characteristics of this area which have been taken into account in the design, i.e. what are the landscape qualities of the area?
- Does the proposal maintain or enhance any identified views or views in general?
- How does the proposal affect the trees on or adjacent to the site?
- Can trees be used to provide natural shading from unwanted solar gain? i.e. deciduous trees can limit solar gains in summer, while maximising them in winter.
- Has the proposal been considered within its wider physical context?
- Has the impact on the landscape quality of the area been taken into account?
- In rural locations, has the impact of the development on the tranquillity of the area been fully considered?
- How does the proposal impact on existing views that are important to the area and how are these views incorporated in the design?
- Can any new views be created?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?

3 (continued)

Local green spaces, views and character

- Have opportunities for enhancing existing amenity spaces been explored?
- Will any communal amenity space be created? If so, how this will be used by the new owners and how will it be managed?
- Is there opportunity to increase the local area biodiversity?
- Can green space be used for natural flood prevention, e.g. permeable landscaping, swales?
- Can water bodies be used to provide evaporative cooling?
- Is there space to consider a ground source heat pump array, either horizontal ground loop or borehole (if excavation is required)?

4

Gateway and access features

- What is the arrival point and how is it designed?
- Does the proposal maintain or enhance the existing gaps between settlements?
- Does the proposal affect or change the setting of a listed building or listed landscape?
- Is the landscaping to be hard or soft?

5

Buildings' layout and grouping

- What are the typical groupings of buildings?
- How have the existing groupings been reflected in the proposal?
- Are proposed groups of buildings offering variety and texture to the villagescape?
- What effect would the proposal have on the streetscape?
- Does the proposal maintain the character of dwelling clusters stemming from the main road?
- Does the proposal overlook any adjacent properties or gardens? If yes, how is this mitigated?

5 (continued)

Buildings layout and grouping

- Subject to topography and the clustering of existing buildings, are new buildings oriented to incorporate passive solar design principles with, for example, one of the main glazed elevations within 30° of due south, whilst also minimising overheating risk?
- Can buildings with complementary energy profiles be clustered together such that a communal low carbon energy source could be used to supply multiple buildings that might require energy at different times of day or night, to reduce peak loads? And/or can waste heat from one building be extracted to provide cooling to that building as well as heat to another building?

6

Building line and boundary treatment

- What are the characteristics of the building line?
- How has the building line been respected in the proposals?
- Has the appropriateness of the boundary treatments been considered in the context of the site?

7

Building heights and roofline

- What are the characteristics of the roofline?
- Have the proposals paid careful attention to height, form, massing and scale?
- If a higher-than-average building(s) is proposed, what would be the reason for making the development higher?
- Will the roof structure be capable of supporting a photovoltaic or solar thermal array, either now or in the future?
- Will the inclusion of roof-mounted renewable technologies be an issue from a visual or planning perspective? If yes, can they be screened from view, being careful not to cause overshadowing?

8

Household extensions

- Does the proposed design respect the character of the area and the immediate neighbourhood, and does it have an adverse impact on neighbouring properties in relation to privacy, overbearing or overshadowing impact?
- Is the roof form of the extension appropriate to the original dwelling (considering angle of pitch)?
- Do the proposed materials match those of the existing dwelling?
- In case of side extensions, does it retain important gaps within the street scene and avoid a 'terracing effect'?
- Are there any proposed dormer roof extensions set within the roof slope?
- Does the proposed extension respond to the existing pattern of window and door openings?
- Is the side extension set back from the front of the house?
- Does the extension offer the opportunity to retrofit energy efficiency measures to the existing building?
- Can any materials be re-used in situ to reduce waste and embodied carbon?

9

Building materials and surface treatment

- What is the distinctive material in the area?
- Does the proposed material harmonise with the local materials?
- Does the proposal use high-quality materials?
- Have the details of the windows, doors, eaves and roof been addressed in the context of the overall design?
- Do the new proposed materials respect or enhance the existing area or adversely change its character?
- Are recycled materials, or those with high-recycled content, proposed?

9 (continued)

Building materials and surface treatment

- Has the embodied carbon of the materials been considered and are there options that can reduce the embodied carbon of the design? For example, wood structures and concrete alternatives.
- Can the proposed materials be locally and/or responsibly sourced? For example FSC timber, or certified under BES 6001, ISO 14001 Environmental Management Systems?

10

Car parking

- What parking solutions have been considered?
- Are the car-parking spaces located and arranged in a way that is not dominant or detrimental to the sense of place?
- Has planting been considered to soften the presence of cars?
- Does the proposed car parking compromise the amenity of adjoining properties?
- Have the needs of wheelchair users been considered?
- Can electric vehicle charging points be provided?
- Can secure cycle storage be provided at an individual building level or through a central/communal facility, where appropriate?
- If covered car ports or cycle storage is included, can it incorporate roof-mounted photovoltaic panels or a bio-diverse roof in its design?

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